# BATES-SHEPPARD HOUSE

# DE WITT COUNTY HISTORICAL MUSEUM

312 E. Broadway Street Cuero, Texas 77954



EXTERIOR REPAIRS & RESTORATION ADDENDUM #1 - 4.22.2025

ARCHITECTURE CIVIL SHPO



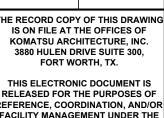


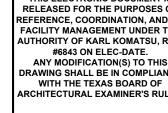


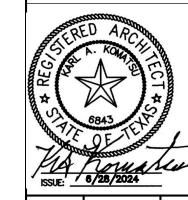
SYM. DESCRIPTION BESCRIPTION BY REVISIONS

KOMATSU ARCHITECTURE









PARD HOUSE
HISTORICAL MUSEUM
adway Street

3A LES - SHEPPAK
DE WITT COUNTY HISTORI
312 E.Broadway
Cuero, Texas,

SHEET SIZE 22X34

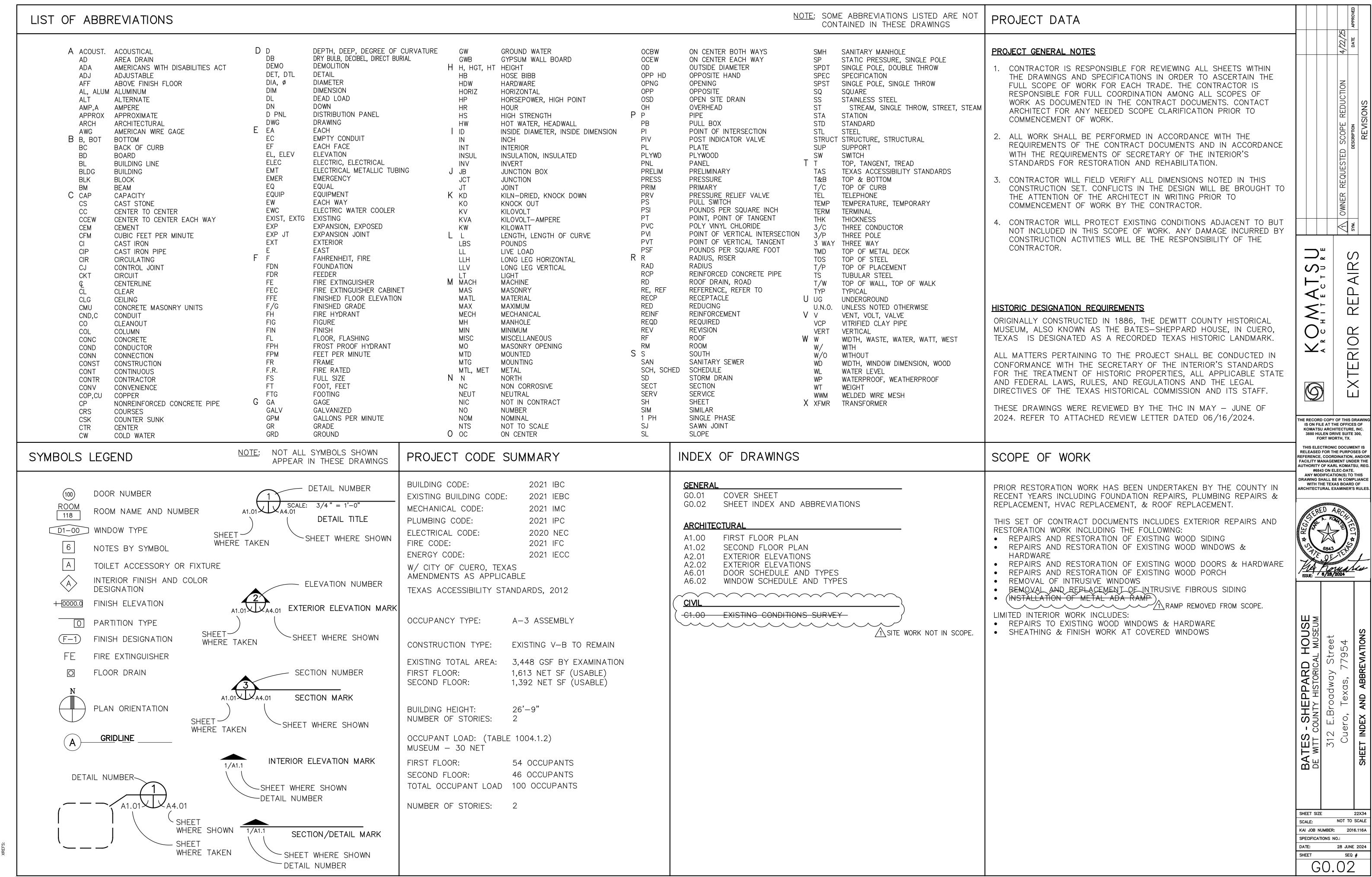
SCALE: NOT TO SCALE

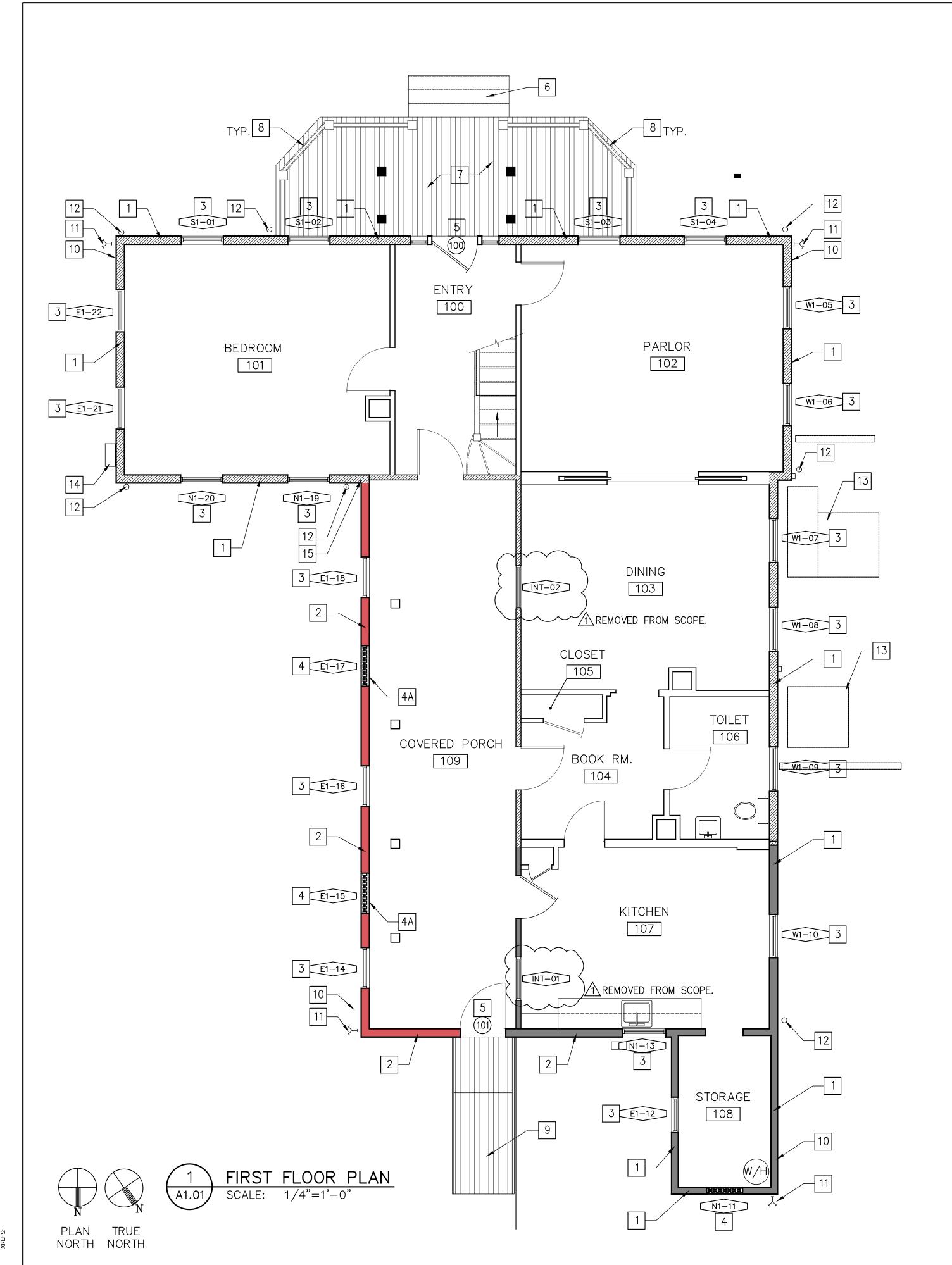
KAI JOB NUMBER: 2016.116A

SPECIFICATIONS NO.:

DATE: 28 JUNE 2024

SEQ#





### GENERAL NOTES

- A. THIS BUILDING IS A RECORDED TEXAS HISTORIC LANDMARK. ALL EXTERIOR WORK MUST BE REVIEWED BY THE TEXAS HISTORICAL COMMISSION PURSUANT TO TEXAS GOVERNMENT CODE CHAPTER 442 SECTION 442.006(F)
- B. REHABILITATION IS THE SELECTED TREATMENT FOR THE BUILDING. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WILL BE FOLLOWED. REFER NPS WEBSITE FOR FULL LIST OF STANDARDS: https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm.
- C. REFER SHEET GO.O2 FOR SYMBOLS, LEGENDS, AND ABBREVIATIONS.
- D. REFER SHEET A2.01 AND A2.02 FOR EXTERIOR ELEVATIONS.
- E. REFER SHEET A6.01 FOR DOOR TYPES AND A6.02 FOR WINDOW TYPES.
- F. NOTES BY SYMBOL ARE SHEET SPECIFIC.
- G. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR MUST FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS PRIOR TO THE START OF WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- H. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO REMAIN. CONTRACTOR TO PROTECT EXISTING EQUIPMENT AND COMPONENTS DURING CONSTRUCTION. CAREFULLY DETACH EXTERIOR UTILITY CONNECTIONS PRIOR TO START OF WORK, REATTACH UPON COMPLETION OF EXTERIOR REPAIRS.
- I. ALL EXISTING GUTTERS, DOWNSPOUTS, AND ROOFING TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION. CONTRACTOR TO REVIEW CONDITION OF ROOF FLASHING WHERE ROOFING INTERSECTS WITH WALL AND SIDING. CONTRACTOR TO REPAIR, REPLACE, MODIFY, OR INSTALL ROOF FLASHING AS REQUIRE, COORDINATE REPAIRS WITH OWNER AND ARCHITECT,
- J. BLOWN IN INSULATION WAS PREVIOUSLY ADDED TO THE EXTERIOR WALLS OF THE STRUCTURE BY OTHERS. THE ARCHITECT NOTES THAT THE EXTERIOR WALLS DO NOT HAVE A SHEATHING LAYER OR VAPOR/AIR BARRIER LAYER BELOW THE SIDING. ADDING THE MISSING WALL CONSTRUCTION LAYERS AND MODIFICATIONS TO THE INSULATION ARE OUTSIDE THE SCOPE OF THIS WORK PER THE OWNER'S DIRECTIVE.
- K. CONTRACTOR TO INSPECT CONDITION OF MATERIALS, WOOD FRAMING, ETC., BELOW SIDING FOR DETERIORATION AND ROT. COORDINATE REPAIRS WITH OWNER AND ARCHITECT, PROVIDE UNIT PRICE FOR REPAIRS, ASSUME 20% FOR BASE BID.

### LEGEND

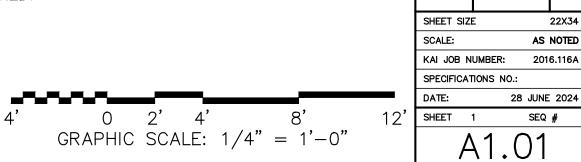
ORIGINAL EXTERIOR WALL

INTRUSIVE PORCH INFILL

1920S ADDITION

## NOTES BY SYMBOL "X"

- 1. <u>WOOD SIDING</u> AT ORIGINAL WALLS, REPAIR, RESTORE, REFINISH EXISTING, ORIGINAL WOOD SIDING, TYPICAL. FILL ALL HOLES WHERE ABANDONED UTILITIES HAVE BEEN REMOVED. REFER ELEVATIONS FOR MORE INFORMATION.
- 2. NON-ORIGINAL SIDING AT PORCH INFILL, REMOVE INTRUSIVE SIDING. REPLACE WITH HARDIBOARD SIDING TO MATCH THE ORIGINAL CLAPBOARD SIDING PROFILE, TYPICAL AT RED HATCH.
- 3. <u>ORIGINAL WINDOWS</u> REPAIR, RESTORE, REFINISH ORIGINAL WOOD WINDOWS TO LIKE NEW CONDITION, TYPICAL, REFER WINDOW SCHEDULE FOR RESTORATION PROGRAM.
- 4. INTRUSIVE WINDOWS REMOVE INTRUSIVE WINDOW. PROVIDE INFILL FRAMING PRIOR TO SIDING REPLACEMENT.
- 4A. WHERE WINDOWS HAVE BEEN REMOVED, COVER OPENING AT EXTERIOR WITH NEW SIDING. COVER OPENING AT INTERIOR WITH NEW WOOD SHIPLAP TO MATCH EXISTING. PRIME AND PAINT.
- 5. DOOR REPAIR, RESTORE, REFINISH DOOR AND ASSOCIATED HARDWARE TO LIKE NEW CONDITION.
- PORCH STAIRS - REFINISH PORCH STAIR TREADS, RISERS, AND RAILING. REPLACE DETERIORATED WOOD COMPONENTS IN KIND.
- 7. PORCH DECKING - REPAIR AND REFINISH ALL PORCH DECKING AS REQUIRED, REMOVE SEVERELY DETERIORATED FRONT PORCH FLOORBOARDS. REPLACE IN KIND. MATCH WOOD SPECIES, SIDE, AND PLACEMENT. PRIME AND PAINT.
- 8. PORCH RAILING REPAIR HISTORIC WOOD PORCH RAILING AS NEEDED. REPLACE HISTORIC ELEMENTS ONLY IF NON-REPAIRABLE. REPLACEMENT ELEMENTS MUST BE IN KIND TO MATCH EXISTING WOOD SPECIES AND RAILING
- RAMP EXISTING TO REMAIN
- 10. HOSE RACK REMOVE EXISTING WALL MOUNTED WATER HOSE RACK. INSTALL FREESTANDING, PERIOD APPROPRIATE WATER HOSE REEL PER ARCHITECTS RECOMMENDATION.
- 11. EXISTING HOSE BIB TO REMAIN.
- 12. EXISTING DOWNSPOUT TO REMAIN
- 13. EXISTING MECHANICAL EQUIPMENT TO REMAIN
- 14. EXISTING ELECTRICAL PANEL TO REMAIN
- 15. CONTRACTOR TO REVIEW ROOF FLASHING AT WALL CONNECTION. OWNER HAS NOTED A WATER LEAK IN THIS AREA. COORDINATE REPAIR WITH OWNER AND ARCHITECT IF REQUIRED.

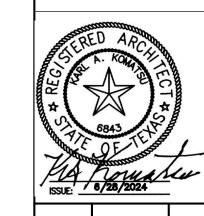


SYM.

**S**⊃  $\bigcap$ 0  $\overline{\mathbb{Z}}$ 

IS ON FILE AT THE OFFICES OF KOMATSU ARCHITECTURE, INC. 3880 HULEN DRIVE SUITE 300,

RELEASED FOR THE PURPOSES OR REFERENCE, COORDINATION, AND/ AUTHORITY OF KARL KOMATSU, RE #6843 ON ELEC-DATE. DRAWING SHALL BE IN COMPLIAN WITH THE TEXAS BOARD OF

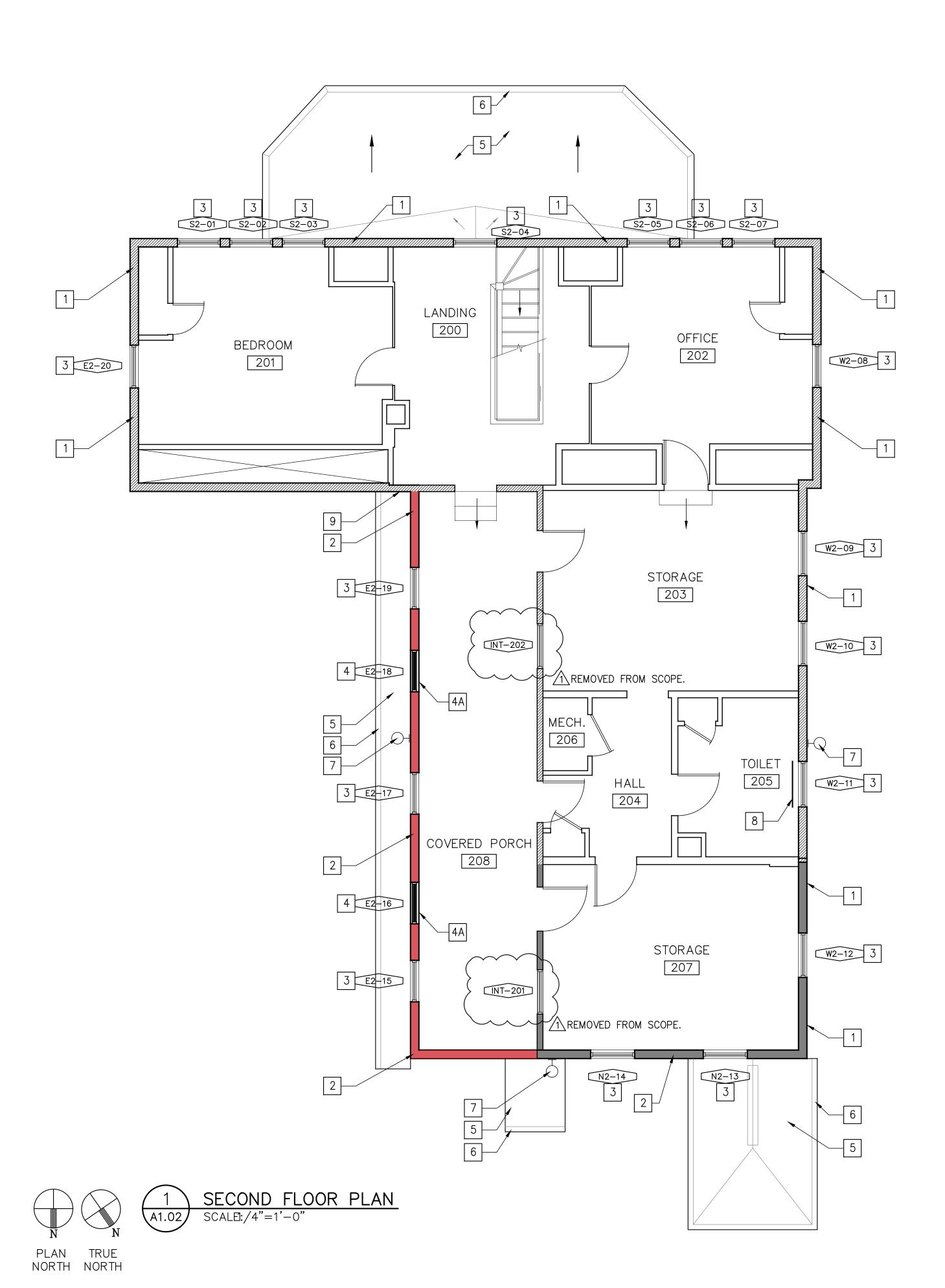


HOUSEUM L MUSEUM

AS NOTED KAI JOB NUMBER: 2016.116A

BATES DE WITT (

SEQ # A1.01



### **GENERAL NOTES**

- A. THIS BUILDING IS A RECORDED TEXAS HISTORIC LANDMARK. ALL EXTERIOR WORK MUST BE REVIEWED BY THE TEXAS HISTORICAL COMMISSION PURSUANT TO TEXAS GOVERNMENT CODE CHAPTER 442 SECTION 442.006(F)
- B. REHABILITATION IS THE SELECTED TREATMENT FOR THE BUILDING. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WILL BE FOLLOWED. REFER NPS WEBSITE FOR FULL LIST OF STANDARDS: https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm.
- C. REFER SHEET GO.O2 FOR SYMBOLS, LEGENDS, AND ABBREVIATIONS.
- D. REFER SHEET A2.01 AND A2.02 FOR EXTERIOR ELEVATIONS.
- E. REFER SHEET A6.01 FOR DOOR TYPES AND A6.02 FOR WINDOW TYPES.
- F. NOTES BY SYMBOL ARE SHEET SPECIFIC.
- G. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR MUST FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS PRIOR TO THE START OF WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- H. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO REMAIN. CONTRACTOR TO PROTECT EXISTING EQUIPMENT AND COMPONENTS DURING CONSTRUCTION. CAREFULLY DETACH EXTERIOR UTILITY CONNECTIONS PRIOR TO START OF WORK, REATTACH UPON COMPLETION OF EXTERIOR REPAIRS.
- I. ALL EXISTING GUTTERS, DOWNSPOUTS, AND ROOFING TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION. CONTRACTOR TO REVIEW CONDITION OF ROOF FLASHING WHERE ROOFING INTERSECTS WITH WALL AND SIDING. CONTRACTOR TO REPAIR, REPLACE, MODIFY, OR INSTALL ROOF FLASHING AS REQUIRE. COORDINATE REPAIRS WITH OWNER AND ARCHITECT.
- J. BLOWN IN INSULATION WAS PREVIOUSLY ADDED TO THE EXTERIOR WALLS OF THE STRUCTURE BY OTHERS. THE ARCHITECT NOTES THAT THE EXTERIOR WALLS DO NOT HAVE A SHEATHING LAYER OR VAPOR/AIR BARRIER LAYER BELOW THE SIDING. ADDING THE MISSING WALL CONSTRUCTION LAYERS AND MODIFICATIONS TO THE INSULATION ARE OUTSIDE THE SCOPE OF THIS WORK PER THE OWNER'S DIRECTIVE.
- K. CONTRACTOR TO INSPECT CONDITION OF MATERIALS, WOOD FRAMING, ETC., BELOW SIDING FOR DETERIORATION AND ROT. COORDINATE REPAIRS WITH OWNER AND ARCHITECT, PROVIDE UNIT PRICE FOR REPAIRS, ASSUME 20% FOR BASE BID.

### LEGEND

ORIGINAL EXTERIOR WALL INTRUSIVE PORCH INFILL

1920'S ADDITION

### NOTES BY SYMBOL "X"

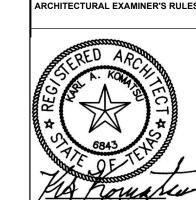
- 1. WOOD SIDING AT ORIGINAL WALLS, REPAIR, RESTORE, REFINISH EXISTING, ORIGINAL WOOD SIDING, TYPICAL. FILL ALL HOLES WHERE ABANDONED UTILITIES HAVE BEEN REMOVED. REFER ELEVATIONS FOR MORE INFORMATION.
- 2. NON-ORIGINAL SIDING AT PORCH INFILL, REMOVE INTRUSIVE SIDING. REPLACE WITH HARDIBOARD SIDING TO MATCH THE ORIGINAL CLAPBOARD SIDING PROFILE, TYPICAL.
- 3. ORIGINAL WINDOWS REPAIR, RESTORE, REFINISH ORIGINAL WOOD WINDOWS TO LIKE NEW CONDITION, TYPICAL. REFER WINDOW SCHEDULE FOR RESTORATION PROGRAM.
- 4. INTRUSIVE WINDOWS REMOVE INTRUSIVE WINDOW. PROVIDE INFILL FRAMING PRIOR TO SIDING REPLACEMENT.
- 4A. WHERE WINDOWS HAVE BEEN REMOVED, COVER OPENING AT EXTERIOR WITH NEW SIDING. COVER OPENING AT INTERIOR WITH NEW WOOD SHIPLAP TO MATCH EXISTING, PRIME AND PAINT
- 5. EXISTING ROOF TO REMAIN
- 6. EXISTING GUTTER / DOWNSPOUT TO REMAIN
- 7. EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN
- 8. INTERIOR STORM WINDOW PROVIDE INTERIOR, PRESSURE FIT STORM WINDOW, INDOW SLEEP PANEL OR APPROVED EQUAL. STORM WINDOW TO COVER FULL OPENING AND BLOCK VIEW FROM EXTERIOR WITHOUT MODIFYING ORIGINAL WINDOW.
- 9. CONTRACTOR TO REVIEW ROOF FLASHING AT WALL CONNECTION. OWNER HAS NOTED A WATER LEAK IN THIS AREA. COORDINATE REPAIR WITH OWNER AND ARCHITECT IF REQUIRED.

SYM.

**S**⊃ 0  $\overline{\mathbb{Z}}$ 

IS ON FILE AT THE OFFICES OF KOMATSU ARCHITECTURE, INC. 3880 HULEN DRIVE SUITE 300, RELEASED FOR THE PURPOSES OF REFERENCE, COORDINATION, AND/O AUTHORITY OF KARL KOMATSU, RE #6843 ON ELEC-DATE.

DRAWING SHALL BE IN COMPLIANCE WITH THE TEXAS BOARD OF



HOUSEUM

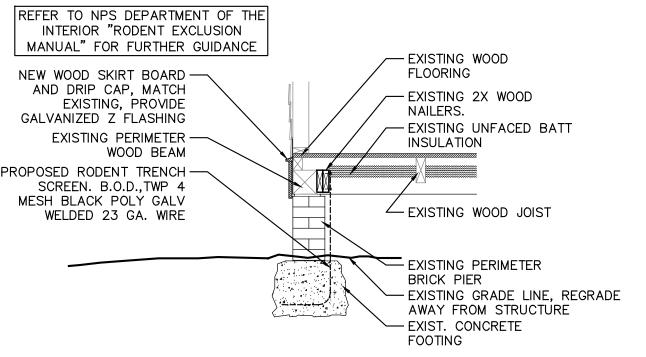
SHEET SIZE SCALE: AS NOTED KAI JOB NUMBER: 2016.116A

BATES DE WITT (

SPECIFICATIONS NO.: SHEET 1 SEQ #

GRAPHIC SCALE: 1/4" = 1'-0"





# <u>E2-16</u> <u>E2-19</u> <u>E2-18</u> E2-15 E1-21 5 E1-18 E1-14 E1-16 EAST ELEVATION

#### **GENERAL NOTES**

- A. THIS BUILDING IS A RECORDED TEXAS HISTORIC LANDMARK. ALL EXTERIOR WORK MUST BE REVIEWED BY THE TEXAS HISTORICAL COMMISSION PURSUANT TO TEXAS GOVERNMENT CODE CHAPTER 442 SECTION 442.006(F)
- B. REHABILITATION IS THE SELECTED TREATMENT FOR THE BUILDING. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WILL BE FOLLOWED. REFER NPS WEBSITE FOR FULL LIST OF STANDARDS: <a href="https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm">https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm</a>,
- C. REFER SHEET GO.02 FOR SYMBOLS, LEGENDS, AND ABBREVIATIONS.
- D. REFER SHEET A2.01 AND A2.02 FOR EXTERIOR ELEVATIONS.
- E. REFER SHEET A6.01 FOR DOOR TYPES AND A6.02 FOR WINDOW TYPES
- F. NOTES BY SYMBOL ARE SHEET SPECIFIC.
- G. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR MUST FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS PRIOR TO THE START OF WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- H. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO REMAIN. CONTRACTOR TO PROTECT EXISTING EQUIPMENT AND COMPONENTS DURING CONSTRUCTION. CAREFULLY DETACH EXTERIOR UTILITY CONNECTIONS PRIOR TO START OF WORK, REATTACH UPON COMPLETION OF EXTERIOR REPAIRS.
- I. ALL EXISTING GUTTERS, DOWNSPOUTS, AND ROOFING TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION. CONTRACTOR TO REVIEW CONDITION OF ROOF FLASHING WHERE ROOFING INTERSECTS WITH WALL AND SIDING CONTRACTOR TO REPAIR, REPLACE, MODIFY, OR INSTALL ROOF FLASHING AS REQUIRE. COORDINATE REPAIRS WITH OWNER AND ARCHITECT
- J. BLOWN IN INSULATION WAS PREVIOUSLY ADDED TO THE EXTERIOR WALLS OF THE STRUCTURE BY OTHERS. THE ARCHITECT NOTES THAT THE EXTERIOR WALLS DO NOT HAVE A SHEATHING LAYER OR VAPOR/AIR BARRIER LAYER BELOW THE SIDING. ADDING THE MISSING WALL CONSTRUCTION LAYERS AND MODIFICATIONS TO THE INSULATION ARE OUTSIDE THE SCOPE OF THIS WORK PER THE OWNER'S DIRECTIVE.
- K. CONTRACTOR TO INSPECT CONDITION OF MATERIALS, WEATHERING, WOOD FRAMING ETC, BELOW SIDING FOR DETERIORATION AND ROT. COORDINATE REPAIRS WITH OWNER AND ARCHITECT. PROVIDE UNIT PRICE FOR REPAIRS. ASSUME 20% FOR BASE BID.
- L. WINDOW WIDTHS AND HEIGHTS ARE BASED ON SITE MEASUREMENTS AND REFLECT THE HISTORIC DIMENSIONS FOUND. CONTRACTOR IS TO BE PREPARED TO ADJUST WIDTHS AND HEIGHTS AS REQUIRED BY FIELD VERIFICATION.
- M.ALL TRIM WORK FOR WINDOWS AND/OR FRAMES ARE TO BE REPAIRED AND RESTORED. WHERE REQUIRED REPLACEMENT COMPONENTS TO BE DUPLICATED FROM THE EXTANT EXAMPLES FOUND THROUGHOUT THE BUILDING. ANY VARIATIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO FABRICATION AND INSTALLATION.

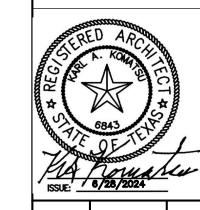
### NOTES BY SYMBOL

- <u>WOOD SIDING</u> AT ORIGINAL WALLS, REPAIR, RESTORE, REFINISH EXISTING, ORIGINAL WOOD SIDING, TYPICAL. REMOVE PAINT DOWN TO BARE WOOD USING GENTLEST MEANS POSSIBLE, NON-ABRASIVE, CHEMICAL OR HEAT METHODS. DO NOT BLAST. INSPECT ALL EXTERIOR WALLS FOR DAMAGED OR ROTTED WOOD SIDING MEMBERS. REMOVE AND REPLACE ALL SIDING MEMBERS 50% OR MORE DAMAGED. REPLACEMENT WOOD SPECIES TO MATCH EXISTING. REPAIR REMAINING SIDING. REATTACH SAGGING SIDING WITH NON-CORROSIVE FASTENERS. PRIME AND PAINT ALL SIDING. COLOR TO MATCH EXISTING. COUNTERSINK EXISTING RUSTED FASTENER HEADS. PUTTY, PRIME, PAINT. TYPICAL
- WOOD WATER TABLE PRIME, PAINT, REINSTALL EXISTING WOOD WATER TABLE. REPLACE MISSING AND/OR ROTTED WOOD COMPONENTS TO MATCH EXISTING, TYPICAL
- 3. NON-ORIGINAL SIDING AT PORCH INFILL, REMOVE INTRUSIVE SIDING. REPLACE WITH HARDIBOARD SIDING TO MATCH THE ORIGINAL CLAPBOARD SIDING PROFILE, TYPICAL.
- 4. ORIGINAL WINDOWS REPAIR, RESTORE, REFINISH ORIGINAL WOOD WINDOWS, SCREENS, AND ASSOCIATED HARDWARE TO LIKE NEW CONDITION, TYPICAL. REFER WINDOW SCHEDULE FOR RESTORATION PROGRAM.
- 4.1. WHERE PRESENT, REPAIR RESTORE, REFINISH EXISTING WOOD SHUTTERS AND ASSOCIATED
- 5. <u>INTRUSIVE WINDOWS</u> REMOVE INTRUSIVE WINDOW. PROVIDE INFILL FRAMING PRIOR TO SIDING REPLACEMENT. DASHED LINE INDICATES LOCATION OF EXISTING WINDOW.
- DOOR REPAIR, RESTORE, REFINISH DOOR AND ASSOCIATED HARDWARE TO LIKE NEW CONDITION.
- <u>PORCH STAIRS</u> REFINISH PORCH STAIR TREADS, RISERS, AND RAILING. REPLACE DETERIORATED WOOD COMPONENTS IN KIND. PRIME AND PAINT. COLOR TO MATCH EXISTING
- PORCH DECKING REPAIR AND REFINISH ALL PORCH DECKING AS REQUIRED. REMOVE SEVERELY DETERIORATED FRONT PORCH FLOORBOARDS. REPLACE IN KIND. MATCH WOOD SPECIES, SIZE, AND PLACEMENT PRIME AND PAINT.
- PORCH RAILING REPAIR EXISTING WOOD PORCH RAILING AS NEEDED. REMOVE ANY METAL COMPONENTS THAT ARE NOT NEEDED. REPLACE HISTORIC ELEMENTS ONLY IF NON-REPAIRABLE. REPLACEMENT ELEMENTS MUST BE IN KIND TO MATCH EXISTING WOOD SPECIES AND RAILING DESIGN.
- 9.1. REVIEW CONDITION OF PORCH COLUMNS. REPAIR AS NEEDED. PRIME AND PAINT.
- 10. RAMP EXISTING TO REMAIN. ~~~~~//\
- 11. CRAWL SPACE INFILL INSTALL CRITTER PREVENTION SCREEN SYSTEM AT CRAWLSPACE OPENING. INSTALL INBOARD OF BRICK PIERS AND FINISH IN A DARK COLOR. TYPICAL AT ENTIRE STRUCTURE PERIMETER. REFER DETAIL 03/A2.01.
- 12. EXISTING ROOFING, GUTTERS, AND DOWNSPOUTS TO REMAIN.
- 13. EXISTING LIGHT FIXTURE TO REMAIN.
- 14. ELECTRICAL EQUIPMENT TO REMAIN.
- 15. CONTRACTOR TO REVIEW ROOF FLASHING AT WALL CONNECTION. OWNER HAS NOTED A WATER LEAK IN THIS AREA. COORDINATE REPAIR WITH OWNER AND ARCHITECT IF REQUIRED.

0 2' 4' GRAPHIC SCALE: 1/4" = 1'-0" ₹ ₹

HE RECORD COPY OF THIS DRAW IS ON FILE AT THE OFFICES OF KOMATSU ARCHITECTURE. INC 3880 HULEN DRIVE SUITE 300,

RELEASED FOR THE PURPOSES OF REFERENCE, COORDINATION, AND UTHORITY OF KARL KOMATSU, RE #6843 ON ELEC-DATE. RAWING SHALL BE IN COMPLIAN WITH THE TEXAS BOARD OF



HOUSEUM L MUSEUM reet 54 S - SHEPPARD F COUNTY HISTORICAL BATES DE WITT (

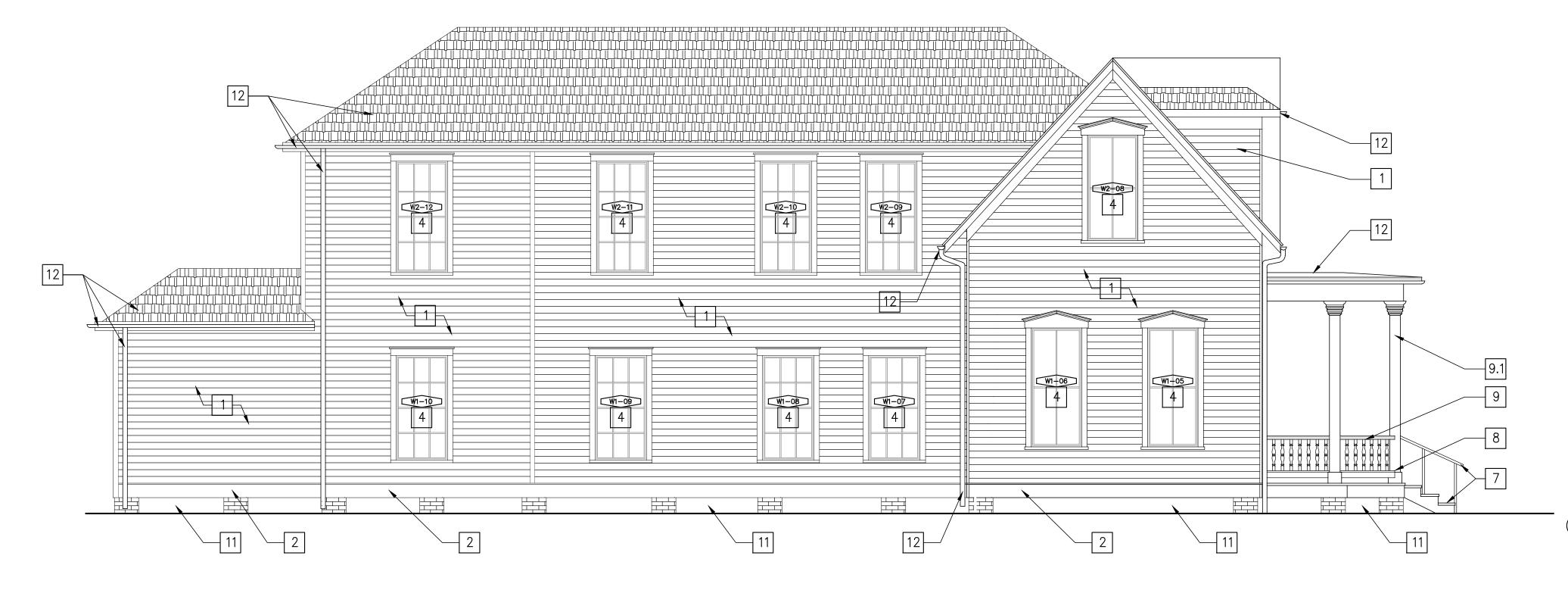
SHEET SIZE SCALE: AS NOTED KAI JOB NUMBER: 2016.116A SPECIFICATIONS NO .:

28 JUNE 2024

SEQ #







2 WEST ELEVATION
A2.02 SCALE: 1/4"=1'-0"

#### GENERAL NOTES

- A. THIS BUILDING IS A RECORDED TEXAS HISTORIC LANDMARK. ALL EXTERIOR WORK MUST BE REVIEWED BY THE TEXAS HISTORICAL COMMISSION PURSUANT TO TEXAS GOVERNMENT CODE CHAPTER 442 SECTION 442.006(F).
- B. REHABILITATION IS THE SELECTED TREATMENT FOR THE BUILDING. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WILL BE FOLLOWED. REFER NPS WEBSITE FOR FULL LIST OF STANDARDS: <a href="https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm">https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm</a>.
- C. REFER SHEET GO.O2 FOR SYMBOLS, LEGENDS, AND ABBREVIATIONS.
- D. REFER SHEET A2.01 AND A2.02 FOR EXTERIOR ELEVATIONS.
- E. REFER SHEET A6.01 FOR DOOR TYPES AND A6.02 FOR WINDOW TYPES
- F. NOTES BY SYMBOL ARE SHEET SPECIFIC.
- G. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR MUST FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS PRIOR TO THE START OF WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- H. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO REMAIN. CONTRACTOR TO PROTECT EXISTING EQUIPMENT AND COMPONENTS DURING CONSTRUCTION. CAREFULLY DETACH EXTERIOR UTILITY CONNECTIONS PRIOR TO START OF WORK, REATTACH UPON COMPLETION OF EXTERIOR REPAIRS.
- I. ALL EXISTING GUTTERS, DOWNSPOUTS, AND ROOFING TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION. CONTRACTOR TO REVIEW CONDITION OF ROOF FLASHING WHERE ROOFING INTERSECTS WITH WALL AND SIDING. CONTRACTOR TO REPAIR, REPLACE, MODIFY, OR INSTALL ROOF FLASHING AS REQUIRE. COORDINATE REPAIRS WITH OWNER AND ARCHITECT
- J. BLOWN IN INSULATION WAS PREVIOUSLY ADDED TO THE EXTERIOR WALLS OF THE STRUCTURE BY OTHERS. THE ARCHITECT NOTES THAT THE EXTERIOR WALLS DO NOT HAVE A SHEATHING LAYER OR VAPOR/AIR BARRIER LAYER BELOW THE SIDING. ADDING THE MISSING WALL CONSTRUCTION LAYERS AND MODIFICATIONS TO THE INSULATION ARE OUTSIDE THE SCOPE OF THIS WORK PER THE OWNER'S DIRECTIVE.
- K. CONTRACTOR TO INSPECT CONDITION OF MATERIALS, WEATHERING, WOOD FRAMING ETC, BELOW SIDING FOR DETERIORATION AND ROT, COORDINATE REPAIRS WITH OWNER AND ARCHITECT, PROVIDE UNIT PRICE FOR REPAIRS, ASSUME 20% FOR BASE BID.
- L. WINDOW WIDTHS AND HEIGHTS ARE BASED ON SITE MEASUREMENTS AND REFLECT THE HISTORIC DIMENSIONS FOUND. CONTRACTOR IS TO BE PREPARED TO ADJUST WIDTHS AND HEIGHTS AS REQUIRED BY FIELD VERIFICATION.
- M.ALL TRIM WORK FOR WINDOWS AND/OR FRAMES ARE TO BE REPAIRED AND RESTORED. WHERE REQUIRED, REPLACEMENT COMPONENTS TO BE DUPLICATED FROM THE EXTANT EXAMPLES FOUND THROUGHOUT THE BUILDING. ANY VARIATIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO FABRICATION AND INSTALLATION.

### NOTES BY SYMBOL "X"

- 1. WOOD SIDING AT ORIGINAL WALLS, REPAIR, RESTORE, REFINISH EXISTING, ORIGINAL WOOD SIDING, TYPICAL. REMOVE PAINT DOWN TO BARE WOOD USING GENTLEST MEANS POSSIBLE, NON—ABRASIVE, CHEMICAL OR HEAT METHODS. DO NOT BLAST. INSPECT ALL EXTERIOR WALLS FOR DAMAGED OR ROTTED WOOD SIDING MEMBERS. REMOVE AND REPLACE ALL SIDING MEMBERS 50% OR MORE DAMAGED. REPLACEMENT WOOD SPECIES TO MATCH EXISTING. REPAIR REMAINING SIDING. REATTACH SAGGING SIDING WITH NON—CORROSIVE FASTENERS. PRIME AND PAINT ALL SIDING. COLOR TO MATCH EXISTING. COUNTERSINK EXISTING RUSTED FASTENER HEADS. PUTTY, PRIME, PAINT.TYPICAL.
- 2. <u>WOOD WATER TABLE</u> PRIME, PAINT, REINSTALL EXISTING WOOD WATER TABLE. REPLACE MISSING AND/OR ROTTED WOOD COMPONENTS TO MATCH EXISTING, TYPICAL.
- . <u>NON-ORIGINAL SIDING</u> AT PORCH INFILL, REMOVE INTRUSIVE SIDING. REPLACE WITH HARDIBOARD SIDING TO MATCH THE ORIGINAL CLAPBOARD SIDING PROFILE, TYPICAL.
- 4. <u>ORIGINAL WINDOWS</u> REPAIR, RESTORE, REFINISH ORIGINAL WOOD WINDOWS AND ASSOCIATED HARDWARE TO LIKE NEW CONDITION, TYPICAL. REFER WINDOW SCHEDULE FOR RESTORATION PROCRAM
- 4.1. WHERE PRESENT, REPAIR RESTORE, REFINISH EXISTING WOOD SHUTTERS AND ASSOCIATED HARDWARF
- 5. <u>INTRUSIVE WINDOWS</u> REMOVE INTRUSIVE WINDOW. PROVIDE INFILL FRAMING PRIOR TO SIDING REPLACEMENT. DASHED LINE INDICATES LOCATION OF EXISTING WINDOW.
- 6. <u>DOOR</u> -REPAIR, RESTORE, REFINISH DOOR AND ASSOCIATED HARDWARE TO LIKE NEW CONDITION.
- 7. <u>PORCH STAIRS</u> REFINISH PORCH STAIR TREADS, RISERS, AND RAILING. REPLACE DETERIORATED WOOD COMPONENTS IN KIND. PRIME AND PAINT. COLOR TO MATCH EXISTING.
- 8. <u>PORCH DECKING</u> REPAIR AND REFINISH ALL PORCH DECKING AS REQUIRED. REMOVE SEVERELY DETERIORATED FRONT PORCH FLOORBOARDS. REPLACE IN KIND. MATCH WOOD SPECIES, SIZE, AND PLACEMENT. PRIME AND PAINT.
- 9. <u>PORCH RAILING</u> REPAIR EXISTING WOOD PORCH RAILING AS NEEDED. REMOVE ANY METAL COMPONENTS THAT ARE NOT NEEDED. REPLACE HISTORIC ELEMENTS ONLY IF NON—REPAIRABLE. REPLACEMENT ELEMENTS MUST BE IN KIND TO MATCH EXISTING WOOD SPECIES AND RAILING DESIGN. 9.1. REVIEW CONDITION OF PORCH COLUMNS. REPAIR AS NEEDED. PRIME AND PAINT.
- 10. RAMP EXISTING TO REMAIN.
- 11. <u>CRAWL SPACE INFILL</u> INSTALL CRITTER PREVENTION SCREEN SYSTEM AT CRAWLSPACE OPENING. INSTALL INBOARD OF BRICK PIERS AND FINISH IN A DARK COLOR. TYPICAL AT ENTIRE STRUCTURE PERIMETER. REFER DETAIL 03/A2.01.
- 12. EXISTING ROOFING, GUTTERS, AND DOWNSPOUTS TO REMAIN.
- 13. EXISTING LIGHT FIXTURE TO REMAIN.
- 14. INSTALL VERTICAL TRIM PIECE AT JUNCTION OF ORIGINAL AND NEW HARDIBOARD SIDING.

OF ORIGINAL AND NEW HARDIBOARD SIDING.

KAI JOB NUMBER:

SPECIFICATIONS NO.:

DATE: 28

4' 0 2' 4' 8' 12'

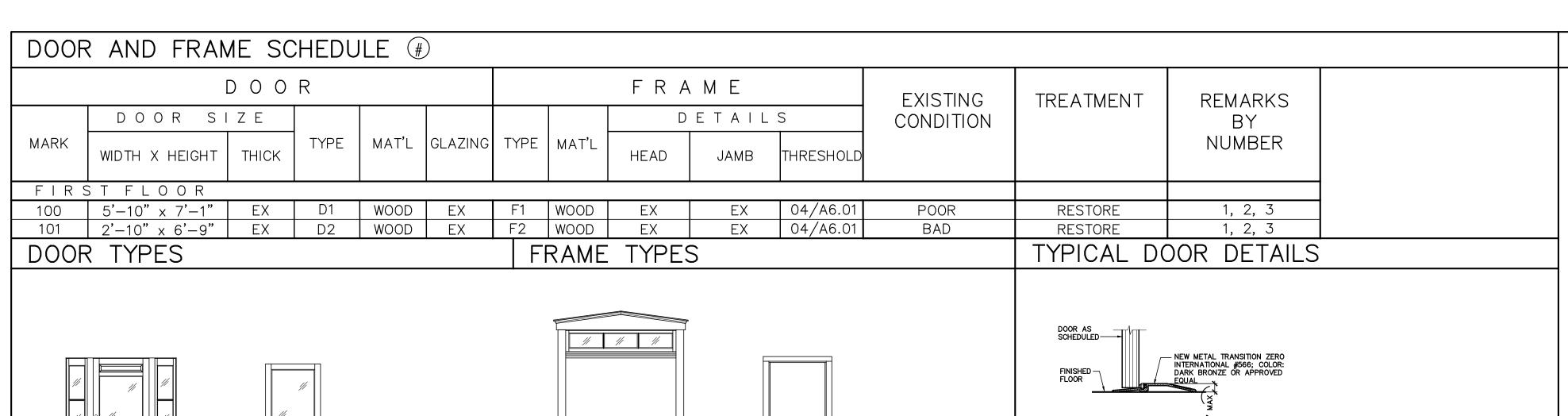
GRAPHIC SCALE: 1/4" = 1'-0"

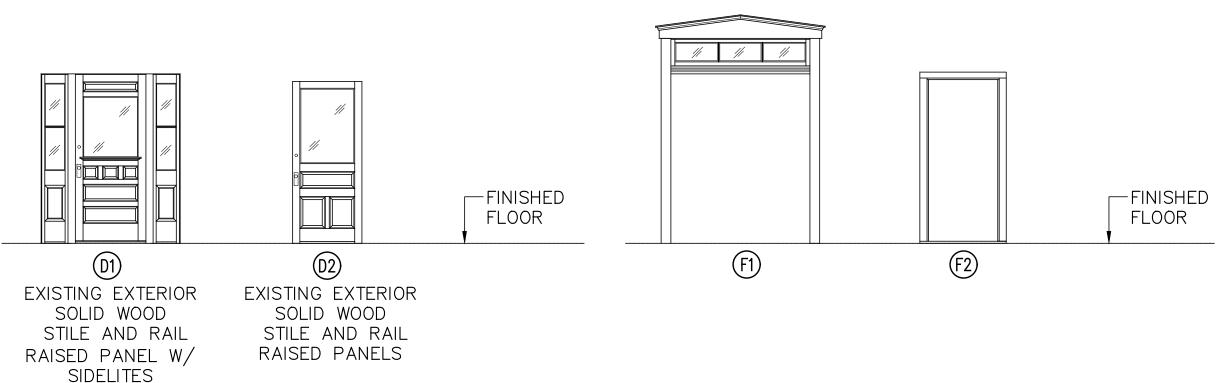
A 2 (

 $\bigcirc$ THE RECORD COPY OF THIS DRAW! IS ON FILE AT THE OFFICES OF KOMATSU ARCHITECTURE INC 3880 HULEN DRIVE SUITE 300, RELEASED FOR THE PURPOSES OF REFERENCE, COORDINATION, AND/O AUTHORITY OF KARL KOMATSU. RE #6843 ON ELEC-DATE. RAWING SHALL BE IN COMPLIANC WITH THE TEXAS BOARD OF S S S M HOUSE MUSE reet 54 S - SHEPPARD L COUNTY HISTORICAL 0 adway BATES DE WITT ( SHEET SIZE SCALE: AS NOTED KAI JOB NUMBER: 2016.116A 28 JUNE 2024 SEQ #

REDUCTION

SW.





### GENERAL NOTES

- A. REFER SHEET GO.02 FOR SYMBOL LEGENDS AND ABBREVIATIONS
- CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING ALL SHEETS WITHIN THE DRAWINGS AND SPECIFICATIONS IN ORDER TO ASCERTAIN THE FULL SCOPE OF WORK FOR EACH TRADE. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR FULL COORDINATION AMONG ALL SCOPES OF WORK AS DOCUMENTED IN THE CONTRACT DOCUMENTS. CONTACT ARCHITECT FOR ANY NEEDED SCOPE CLARIFICATION PRIOR TO COMMENCEMENT OF WORK
- C. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING MUSEUM BUILDING. THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES AND DIMENSIONING TO EXISTING BUILDING ELEMENTS PRIOR TO BEGINNING WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- D. ALL DOOR HEIGHTS AND/OR WIDTHS NOTED IN THE DOOR SCHEDULE ARE TO BE VERIFIED BY THE CONTRACTOR. IF ANY DISCREPANCIES OCCUR BETWEEN FIELD VERIFICATIONS AND WHAT IS IN THE SCHEDULE, THE CONTRACTOR IS TO IMMEDIATELY CONTACT THE ARCHITECT
- E. INSPECT AND SURVEY THRESHOLD, JAMB, AND HEADER. REPAIR / REPLACE ALL ROTTED WOOD. COORDINATE WITH EXISTING HARDWARE. PRIME AND REPAINT TO MATCH EXISTING COLOR.
- REMOVE EXISTING SEALANT AT DOOR JAMB AND HEAD BRICK MOLD. INSTALL NEW BACKER ROD AND APPLY SEALANT. ADJUST OR RE—FASTEN JAMB CASING WHERE LOOSE OR MOVEMENT OCCURS. INSTALL NEW SUBSTRATE OR BLOCK AS
- G. ALL EXISTING DOOR HINGES ARE TO BE EITHER RESTORED TO ORIGINAL CONDITION OR REPLICATED TO MATCH EXISTING AT ALL HISTORIC

## TREATMENT LEGEND

RESTORE - REPAIR, RESTORE, REFINISH EXISTING SASH, FRAME, & HARDWARE, REFER RESTORATION PROGRAM

REMOVE - REMOVE INTRUSIVE WINDOW SASH & FRAME IN ELEVATIONS.

REPAIR, RESTORE, REFINISH EXISTING EXTERIOR SCREEN. 2. INSTALL NEW BRONZE THRESHOLD, COORDINATE WITH

4 TYP. DOOR THRESHOLD DETAIL

NOTES & SPECIFICATION.

REPLACE - REMOVE EXISTING WINDOW. REPLACE IN KIND

THEIR ENTIRETY. SHORE OPENING AND COVER. REFER

#### REMARKS BY NUMBER

- EXISTING CONDITIONS. 3. INSTALL NEW BRONZE AND NEOPRENE DOOR SWEEP (KILIAN HARDWARE OR APPROVED EQUAL).

#### 1 TYP. WOOD WINDOW HEADER DETAIL REDUCTION REPAIR. RESTORE, REFINISH. INT. EXTERIOR JAMB AND CASING REPAIR, RESTORE, REFINISH EXISTING TO REMAIN, PROTECT SURFACES DURING AT ALL WINDOWS. INSTALL NEW WINDOW REPAIR WORK, REPAIR ADJACENT SEALANT AT JAMB PERIMETER. FINISH AS REQUIRED TO MATCH EXISTING. BRONZE WEATHERSTRIPPING NEW SPRING OR INTERLOCKING. -<u>INTERIOR WOOD TRIM</u> REPAIR, RESTORE, REFINISH INSTALL SASH PERIMETER. EXISTING AT ALL WINDOWS. UPPER WOOD SASH SASH PULLEY HARDWARE RECONDITION EXISTING TO LIKE NEW REPAIR, RESTORE, REFINISH, REMOVE EXISTING. INSTALL NEW CONDITION FOR SMOOTH OPERATION. IF PAINTED OVER, REMOVE ALL PAINT TO COMPOUND PUTTY AT ALL EDGES. ORIGINAL METAL FINISH. TYPICAL FOR UPPER AND LOWER SASH EXISTING TO REMAIN. REPLACE IN -<u>Sash cord</u> Replace all with New Braided Cotton KIND WHERE CRACKED OR BROKEN GLAZING COMPOUND REMOVE EXISTING. INSTALL NEW SASH CORD, BUFFALO, SAMSON, OR OWNER APPROVED EQUAL. REATTACH TO EXISTING COMPOUND PUTTY AT ALL EDGES. WEIGHTS AND BALANCE. BRONZE WEATHERSTRIPPING NEW SPRING OR INTERLOCKING. REPAIR. RESTORE. REFINISH EXISTING SASH INSTALL AT MEETING RAIL. LOCKS TO LIKE NEW CONDITION. REMOVE ALL PAINT FROM METAL. WHERE MISSING, GLAZING COMPOUND REMOVE EXISTING, INSTALL NEW REPLACE IN KIND. INTERIOR WOOD JAMB AND CASING COMPOUND PUTTY AT ALL EDGES. REPAIR, RESTORE, REFINISH EXISTING AT LOWER WOOD SASH REPAIR, RESTORE, REFINISH. ALL WINDOWS. -<u>SASH PULL</u> REMOVE PAINT COATING, RESTORE METAL BRONZE WEATHERSTRIPPING NEW SPRING OR INTERLOCKING. **S**⊃ FINISH. REATTACH WHERE LOOSE. IF INSTALL SASH PERIMETER. MISSING, REPLACE IN KIND. $\overline{<}$ EXISTING TO REMAIN. REPAIR, RESTORE -<u>WOOD STOOL</u> REPAIR, RESTORE, REFINISH EXISTING AT REFINISH. ENSURE SLOPE DRAINS WATER AWAY FROM WINDOW, INSTALL NEW SEALANT ALL WINDOWS. AT CONNECTION WITH SUBSILL REPAIR, RESTORE, REFINISH EXISTING AT WOOD SUBSILL EXISTING TO REMAIN. REPAIR, $\propto$ ALL WINDOWS.

INTERIOR FINISH TO REMAIN, PROTECT SURFACES DURING

WINDOW REPAIR WORK, REPAIR ADJACENT

FINISH AS REQUIRED TO MATCH EXISTING

TYPICAL WINDOW DETAILS

CONSTRUCTION. REPAIR EXISTING IN KIND.

THESE DETAILS ILLUSTRATE THE COMPONENTS OF A TYPICAL WOOD

RESTORE, REFINISH.

WOOD CLAPBOARD SIDING -

REPAIR AS REQUIRED.

EXISTING WALL CONSTRUCTION

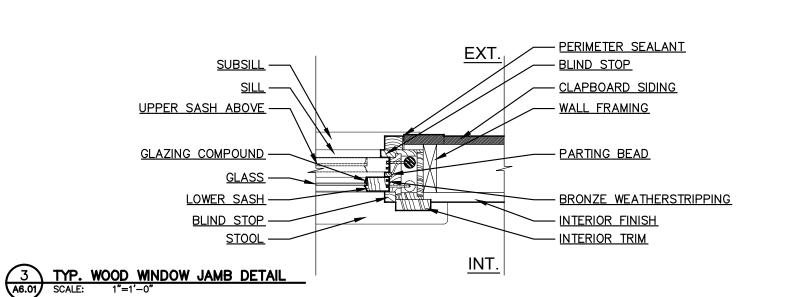
CONTRACTOR TO REVIEW CONDITION &

2 TYP. WOOD WINDOW SILL DETAIL

EXISTING TO REMAIN. REPAIR, RESTORE, REFINISH.

REFER ELEVATIONS FOR RESTORATION PROGRAM.

WINDOW. DIMENSIONS, PROFILES, ETC. MAY DIFFERENT IN EXISTING



THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSES OF REFERENCE, COORDINATION, AND/O **FACILITY MANAGEMENT UNDER TH** AUTHORITY OF KARL KOMATSU, RE #6843 ON ELEC-DATE. DRAWING SHALL BE IN COMPLIANC WITH THE TEXAS BOARD OF

THE RECORD COPY OF THIS DRAW

IS ON FILE AT THE OFFICES OF

KOMATSU ARCHITECTURE. INC 3880 HULEN DRIVE SUITE 300,

FORT WORTH, TX

0

~

## WOOD DOOR RESTORATION PROGRAM NOTES

- THE EXISTING WOOD DOOR, FRAMES, THRESHOLDS, AND OTHER ASSOCIATED COMPONENTS ARE TO BE FULLY REPAIRED AND RESTORED. REPLACE ROTTEN WOOD BY "DUTCHMEN" REPAIR AS NEEDED TO RESTORE THE EXISTING WOOD DOORS TO A WATER-TIGHT & FULLY OPERATIONAL CONDITION. FABRICATION, INSTALLATION, AND PRIME PAINTING OF REPLACEMENT DOOR COMPONENTS TO MATCH CONFIGURATION AND CONSTRUCTION DETAIL OF ORIGINAL DOORS IN ACCORDANCE WITH THE FOUND CONDITIONS ON SITE.
- HAZARDOUS MATERIALS: PROPER ENCAPSULATION, ABATEMENT, REMOVAL AND DISPOSAL OF LEAD BEARING PAINT, CONFORMING TO REGULATIONS GOVERNING SUCH ACTIVITIES. ON ALL COMPONENTS OF EXISTING WOOD UNITS RECEIVING WORK UNDER THIS SECTION.
- FIELD MEASUREMENTS: CHECK ACTUAL DOOR OPENINGS BY ACCURATE FIELD MEASUREMENT BEFORE FABRICATION OR REPAIR. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAY.
- 4. MATERIALS
  - Lumber for Restoration Purposes: Solid lumber stock, salvaged wood of species and grade to match existing, Texture: Surfaced (smooth). Free from machine defects, face checks, cracks, and pitch pockets over 1/8 inch in width. No knots. Maximum moisture content: 6 percent. All wood used on the project for the purposes of restoration of the existing wood windows shall match the existing historic wood of extant frames and jambs in all respects including cut type of lumber, grain character, dimensions, density, color, etc. No wood that does not match the character of the existing shall be used on the project. All wood used on a discreet component shall be custom matched in the field to that specific location and usage in order to achieve the highest degree of match to the extant wood as
  - possible. The Architect shall be the final judge of the correct character of the wood. • Concealed Blocking and Nailers: If installed as a part of window restoration or replacement work shall be fire retardant treated material.
  - Provide material cut to necessary sizes and thickness. Consolidant: Low viscosity penetrating consolidant, 8 hour minimum cure time; LiquidWood by Abatron, Inc. or approved substitute.
  - Patching Compound: Epoxy based, multiple component; WoodEpox by Abatron, Inc. or approved substitute.
  - Fungicide: Bora-Care by Abatron; or eq.
  - **Dowels:** Hardwood type with longitudinal splines. • Adhesive: Exterior waterproof type, formulated specifically for use on wood.

  - Weatherstripping: Bronze, various types for tight fit, see details. • Fasteners: Type and size as required by conditions of use. New fasteners to be hot dip galvanized or corrosion resistant coated steel.
  - Joint Sealer: One-part, low- or medium-modulus silicone sealants, proven to be nonstaining on substrates indicated. Dow Corning 790 Silicone Building Sealant or approved equal. Sealant color to match existing historic material or adjacent sealed components. Backer rod: Closed-cell or bi-cellular polyethylene foam, sized 25% larger than joint width. Type as recommended by sealant manufacturer for each individual condition. Bond-breaker tape: Polyethylene tape or other plastic tape recommended by sealant manufacturer. Primer: As
  - recommended by sealant manufacturer for each substrate indicated. Protect building and other surfaces against damage from exposure. • **Primer:** Shop prime for field paint finish with one coat of wood primer with exterior grade type that is compatible with chosen finish
- PREPARATION: REMOVE LEAD-BASED PAINT (IF ANY), NON-LEAD BASED PAINTS, AND ASBESTOS-BEARING GLAZING COMPOUNDS USING PROPER METHODS AND PROCEDURES. DISPOSE OF HAZARDOUS MATERIALS AS PRESCRIBED BY LAW. REMOVE EXISTING PAINT COATINGS VIA CHEMICAL OR HEAT STRIPPING DOWN TO BARE WOOD. REMOVE EXISTING SEALANTS, GLAZING COMPOUNDS, AND GLASS WHERE REQUIRED BY RESTORATION OPERATIONS. STORE ALL HISTORIC GLASS IN A SAFE AND SECURE MANNER PURSUANT TO REINSTALLATION. DISPOSE OF DAMAGED OR BROKEN GLASS IN A SAFE

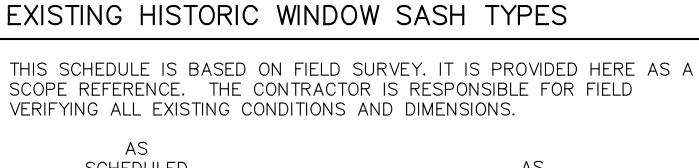
- PROTECTION: CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE PROTECTION OF ALL GLASS DURING ALL PHASES OF THE WORK INCLUDING THE FINISHING ON BOTH EXTERIOR AND INTERIOR SURFACES OF DOORS. MASK ALL GLASS AREAS PRIOR TO USING ANY ABRASIVE MEASURES, I.E., SANDING WITH SANDPAPER, USE OF SCRAPERS OR KNIVES, ETC. FOR THE PREPARATION OF AND ON ANY WOOD SURFACES ADJACENT TO ANY GLASS. ANY SCRATCHED GLASS DUE TO USE OF ABRASIVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. REFINISH OR REPLACE DOORS DAMAGED DURING RE-INSTALLATION. AFTER
- INSTALLATION, PROTECT ALL RESTORED DOORS FROM DAMAGE DURING CONSTRUCTION. 8. RESTORATION: ALL EXTERIOR DOORS: REFURBISH EXTERIOR AND INTERIOR SURFACES OF COMPONENTS AND FRAME IN PREPARATION FOR NEW FINISHES. FULLY STRIP ALL EXISTING PAINT ON DOORS WITH EXISTING PAINT DAMAGE. TREAT DOOR BASED ON THEIR CONDITION. THE CONDITION OF EACH DOOR CAN BE FOUND ON THE SCHEDULE PROVIDED.
  - Good Condition Treat with fungicide and consolidate soft wood.
  - Fair Condition Treat with fungicide. Consolidate soft wood. Epoxy patch deteriorated wood (opaque finish
  - Poor Condition Treat with fungicide. Consolidate soft wood. Epoxy patch moderately deteriorated wood (opaque finish conditions only). Replace severely deteriorated wood and missing wood elements with matching
  - Bad Condition Provide new wood component to match existing, including adjacent components, frame components, and trim.
- 9. PRIME: AT THE CONCLUSION OF THE RESTORATION WORK FOR THE WOOD MEMBERS, PRIME PAINT THE EXTERIOR FACING COMPONENTS INCLUDING GLAZING RECESSES FOR FINAL PAINTED FINISH BEFORE ATTACHING WEATHER-STRIPPING, HARDWARE, OR INSERTING THE DOORS INTO THE FRAME. ONLY PRIME INTERIOR FACING COMPONENTS IF DOOR IS TO RECEIVE PAINT.
- 10. WEATHERSTRIPPING: INSTALL SPRING BRONZE METAL WEATHER-STRIPPING ALONG THE FULL DOOR PERIMETER. REPLACE ALL EXISTING DOOR SWEEPS. ENSURE WEATHER TIGHTNESS AT ALL DOORS.
- 11. GLAZING: REUSE EXISTING GLASS WHERE POSSIBLE. IF REPLACEMENT IS NECESSARY, MATCH EXISTING. REPLACE GLAZING COMPOUND AT ALL DOORS.
- 12. PAINT / STAIN: REFERENCE SCHEDULE FOR FINISHES AND CONDITIONS. ALL PAINT COLORS AND TYPE TO MATCH EXISTING.
- 13. THRESHOLD: ALL EXISTING METAL THRESHOLDS ARE TO BE REPLACED WITH NEW TAS COMPLIANT, METAL THRESHOLD. IF THERE IS AN EXISTING WOOD THRESHOLD, IT IS TO BE RESTORED AND REFINISHED TO LIKE NEW CONDITIONS.
- 14. HARDWARE: REMOVE AND TAG EACH HARDWARE ITEM AT THE DOOR, SALVAGE, CLEAN AND RE-INSTALL. MISSING COMPONENTS OF LATCHES, OR HANDLES, SHALL BE REPLACED WITH NEW TO MATCH EXISTING IN MATERIAL, OVERALL DESIGN AND APPEARANCE. CLEAN AND POLISH HARDWARE BEFORE RE-INSTALLATION.
- 15. TRIM: REPAIR AND REFINISH EXISTING INTERIOR & EXTERIOR TRIM AS NEEDED, COORDINATE REPAIRS WITH EXISTING ADJACENT SURFACE REPAIRS. CONFIRM ALL TRIM IS PLUMB WITH WALL SURFACES.

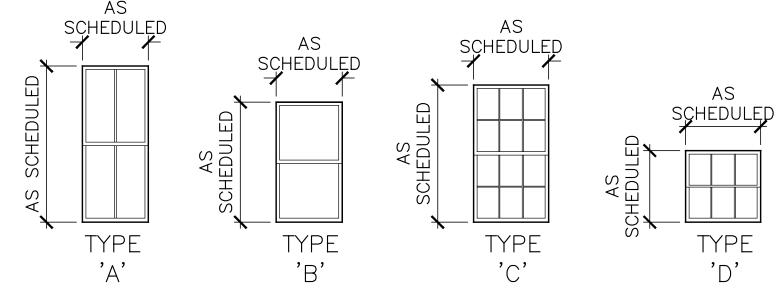
-eet 54 0 SHEET SIZE

SCALE: AS NOTED KAI JOB NUMBER: 2016.116A SPECIFICATIONS NO .: DATE: 28 JUNE 2024 SHEET 1 SEQ #

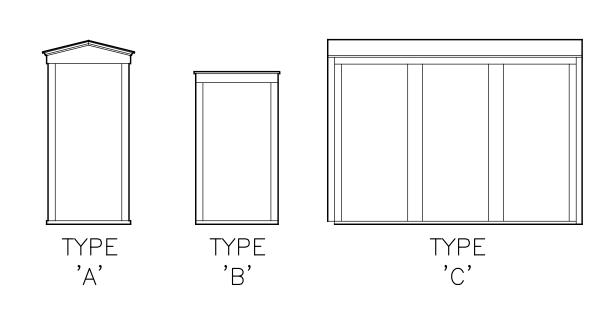
A6.01

MANNER. SCREEN DOORS: ALL ORIGINAL SCREEN DOORS ARE TO BE FULLY RESTORED. REPLACE EXISTING SCREEN NETTING AS NEED TO MATCH EXISTING





### EXISTING HISTORIC EXTERIOR FRAME TYPES



#### GENERAL NOTES

- REFER TO SHEET GO.02 FOR SYMBOLS LEGEND & ABBREVIATIONS
- CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING ALL WITHIN THE DRAWINGS AND SPECIFICATIONS IN ORDER TO ASCERTAIN THE SCOPE OF WORK FOR EACH TRADE. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR FULL COORDINATION AMONG ALI SCOPES OF WORK AS DOCUMENTED IN THE CONTRACT DOCUMENTS. CONTACT ARCHITECT FOR ANY NEEDED SCOPE CLARIFICATION PRIOR TO COMMENCEMENT OF
- C. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING MUSEUM BUILDING. THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, ASSEMBLY TYPES AND DIMENSIONING TO EXISTING BUILDING ELEMENTS PRIOR TO BEGINNING WORK. ANY CONFLICTS OR DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY
- D. ALL WINDOWS TO BE FIXED IN PLACE PER COUNTY'S REQUIREMENTS.
- E. ALL EXTERIOR AND INTERIOR WINDOW TRIM TO BE REPAIRED, RESTORED,
- F. PROTECT HUPER OPTIKS FILM AT ALL GLASS SURFACES.

### TREATMENT LEGEND

- RESTORE REPAIR, RESTORE, REFINISH EXISTING SASH, FRAME, & HARDWARE. REFER RESTORATION PROGRAM NOTES & SPECIFICATION.
- REPLACE REMOVE EXISTING WINDOW, REPLACE IN KIND.
- REMOVE REMOVE INTRUSIVE WINDOW SASH & FRAME IN THEIR ENTIRETY. SHORE OPENING AND COVER. REFER ELEVATIONS.

### EXISTING CONDITION LEGEND

- GOOD TREAT WITH FUNGICIDE & CONSOLIDATE SOFT WOOD.
- FAIR TREAT WITH FUNGICIDE. CONSOLIDATE SOFT WOOD. EPOXY PATCH DETERIORATED WOOD (OPAQUE FINISH CONDITIONS ONLY.)
- POOR TREAT WITH FUNGICIDE. CONSOLIDATE SOFT WOOD. EPOXY PATCH MODERATELY DETERIORATED WOOD (OPAQUE FINISH CONDITIONS ONLY.) REPLACE SEVERELY DETERIORATED WOOD AND MISSING WOOD ELEMENTS WITH MATCHING NEW COMPONENTS.
- BAD PROVIDE NEW WOOD SASH, FRAME, HARDWARE, AND TRIM TO MATCH EXISTING IN

## REMARKS BY NUMBER

- REPAIR, RESTORE, REFINISH EXISTING EXTERIOR SCREEN
- REPAIR, RESTORE, REFINISH EXISTING EXTERIOR SHUTTERS 3. RECONSTRUCT NEW EXTERIOR SCREEN TO MATCH OTHER INTACT EXAMPLES.
- 4. WINDOW OPERATING HARDWARE DIFFERS FROM TYPICAL DETAIL AT THIS LOCATION. REPAIR / REPLACE BALANCE SPRING AS REQUIRED.

### NT-202 WINDOW RESTORATION PROGRAM

WINDOW SCHEDULE

FIRST FLOOR

N1 - 13

E1 - 15

N1 - 20

INT-01

В

В

FRAME TREATMENT EXISTING CONDITION

FAIR

FAIR

FAIR

FAIR

FAIR

FAIR

POOR

POOR

POOR

POOR

POOR

FAIR

POOR

POOR

POOR

POOR

POOR

FAIR

POOR

FAIR

FAIR

POOR

RESTORE

EXISTING SIZE - V.I.F.

2'-9 1/4" W X 6'-6 1/2" H

2'-10 1/8" W X 3'-5/8" H

2'-8 1/8" W X 5'-0" H

2'-8 1/8" W X 5'-0" H

2'-8 1/8" W X 5'-0" H

2'-9 1/4" W X 6'-6 1/2" H

2'-9 1/4" W X 6'-6 1/2" H

2'-9 1/4" W X 6'-6 1/2" H

2'-9 1/4" W X 5'-9 1/2" H

2'-10" W X 6'-1 1/2" H

2'-8 1/8" W X 5'-0" H

2'-8 1/8" W X 5'-0" H

2'-8 1/8" W X 5'-0" H

2'-10" W X 5'-9" H

MATERIAL | LITES / SASH | EXT. FINISH | INT. FINISH

2/2

2/2

2/2

2/2

6/6

6/6

6/6

6/6

2/2

2/2

2/2

2/2

2/2

1/1

3/3

2/2

1/1

2/2

2/2

2/2

2/2

2/2

2/2

2/2

6/6

6/6

6/6

6/6

2/2

6/6

6/6

2/2

PAINT

~PAINT

PAINT

WOOD

REMOVE WINDOW. REFER ELEVATIONS

REMOVE WINDOW, REFER ELEVATIONS

WOOD 1/1

INTERIOR WINDOW REMOVED FROM SCOPE.

INTERIOR WINDOW REMOVED FROM SCOPE

E2-20 A A RESTORE POOR 2'-9 1/4" W X 5'-9 1/2" H WOOD 1/1 PAINT PAINT 1/A6.01 3/A6.01 2/A6.01 NO 3

REMOVE WINDOW, REFER ELEVATIONS

REMOVE WINDOW, REFER ELEVATIONS

REMOVE WINDOW, REFER ELEVATIONS

INTERIOR WINDOW REMOVED FROM SCOPE

INTERIOR WINDOW REMOVED FROM SCOPE

HEAD

1/A6.01

PAINT 1/A6.01

JAMB

3/A6.01

- THE EXISTING WOOD WINDOW FRAMES, SILLS, AND OTHER ASSOCIATED COMPONENTS ARE TO BE FULLY REPAIRED AND BE AUGMENTED BY NEW WOOD REPAIR "DUTCHMEN". AS NEEDED TO RESTORE THE EXISTING WOOD WINDOWS TO A WATER-TIGHT CONDITION & FULLY OPERATIONAL, FABRICATION, INSTALLATION, AND PRIME PAINTING OF REPLACEMENT WINDOW COMPONENTS (INCLUDING NEW SASHES) TO MATCH CONFIGURATION AND CONSTRUCTION DETAIL OF ORIGINAL WINDOWS IN ACCORDANCE WITH THE FOUND CONDITIONS ON
- HAZARDOUS MATERIALS: PROPER ENCAPSULATION, ABATEMENT, REMOVAL, AND DISPOSAL OF LEAD BEARING PAINT, CONFORMING TO REGULATIONS GOVERNING SUCH ACTIVITIES. ON ALL COMPONENTS OF EXISTING WOOD UNITS RECEIVING WORK UNDER THIS SECTION.
- FIELD MEASUREMENTS: CHECK ACTUAL WINDOW OPENINGS BY ACCURATE FIELD MEASUREMENT BEFORE FABRICATION OR REPAIR. COORDINATE FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID DELAY.
- MATERIALS

E2-19

- Lumber for Restoration Purposes: Solid lumber stock, salvaged wood of species and grade to match existing, Texture: Surfaced (smooth). Free from machine defects, face checks, cracks, and pitch pockets over 1/8 inch in width. No knots. Maximum moisture content: 6 percent. All wood used on the project for the purposes of restoration of the existing wood windows shall match the existing historic wood of extant frames and jambs in all respects including cut type of lumber, grain character, dimensions, density, color, etc. No wood that does not match the character of the existing shall be used on the project. All wood used on a discreet component shall be custom matched in the field to that specific location and usage in order to achieve the highest degree of match to the extant wood as possible. The Architect shall be the final judge of the correct character of the wood.
- Concealed Blocking and Nailers: If installed as a part of window restoration or replacement work shall be fire retardant treated material. Provide
- material cut to necessary sizes and thickness. • Consolidant: Low viscosity penetrating consolidant, 8 hour minimum cure time; LiquidWood by Abatron, Inc. or approved equal.
- Patching Compound: Epoxy based, multiple component; WoodEpox by Abatron, Inc. or approved equal.
- Fungicide: Bora-Care by Abatron; or approved equal.
- **Dowels:** Hardwood type with longitudinal splines.
- Adhesive: Exterior waterproof type, formulated specifically for use on wood. • **Weatherstripping:** Bronze, various types for tight fit, see details.
- Fasteners: Type and size as required by conditions of use. New fasteners to be hot dip galvanized or corrosion resistant coated steel.
- Joint Sealer: One-part, low- or medium-modulus silicone sealants, proven to be non-staining on substrates indicated. Dow Corning 790 Silicone Building Sealant or approved equal. Sealant color to match existing historic material or adjacent sealed components. Backer rod: Closed-cell or bi-cellular polyethylene foam, sized 25% larger than joint width. Type as recommended by sealant manufacturer for each individual condition. Bond-breaker tape: Polyethylene tape or other plastic tape recommended by sealant manufacturer. Primer: As recommended by sealant manufacturer for each substrate indicated. Protect building and other surfaces against damage from exposure.
- Primer: Shop prime for field paint finish with one coat of wood primer with exterior grade type that is compatible with chosen finish paint.
- Glazing Compound: Modern elastic glazing putty, Sarco Multi-Glaze Type M or approved equal.
- PREPARATION: REMOVE LEAD-BASED PAINT (IF ANY), NON-LEAD BASED PAINTS, AND ASBESTOS-BEARING GLAZING COMPOUNDS USING PROPER METHODS AND PROCEDURES. DISPOSE OF HAZARDOUS MATERIALS AS PRESCRIBED BY LAW. REMOVE EXISTING PAINT COATINGS VIA CHEMICAL OR HEAT STRIPPING DOWN TO BARE WOOD. REMOVE EXISTING SEALANTS, GLAZING COMPOUNDS, AND GLASS WHERE REQUIRED BY RESTORATION OPERATIONS. STORE ALL HISTORIC GLASS IN A SAFE AND SECURE MANNER PURSUANT TO REINSTALLATION. DISPOSE OF DAMAGED OR BROKEN GLASS IN A SAFE MANNER.

7. PROTECTION: CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE PROTECTION OF ALL GLASS DURING ALL PHASES OF THE WORK INCLUDING THE FINISHING ON BOTH EXTERIOR AND INTERIOR SURFACES OF WINDOWS. MASK ALL GLASS AREAS PRIOR TO USING ANY ABRASIVE MEASURES, I.E., SANDING WITH SANDPAPER, USE OF SCRAPERS OR KNIVES, ETC. FOR THE PREPARATION OF AND ON ANY WOOD SURFACES ADJACENT TO ANY GLASS. ANY SCRATCHED GLASS DUE TO USE OF ABRASIVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. REFINISH OR REPLACE WINDOWS DAMAGED DURING RE-INSTALLATION. AFTER INSTALLATION, PROTECT ALL RESTORED WINDOWS FROM DAMAGE DURING CONSTRUCTION

PAINT PAINT 1/A6.01 3/A6.01 2/A6.01 NO

- 8. RESTORATION: ALL WINDOWS: REFURBISH EXTERIOR AND INTERIOR SURFACES OF SASH AND FRAME IN PREPARATION FOR NEW FINISHES. FULLY STRIP ALL EXISTING PAINT ON WINDOWS WITH EXISTING PAINT DAMAGE. TREAT WINDOW COMPONENTS BASED ON THEIR CONDITION. THE CONDITION OF EACH WINDOW CAN BE FOUND ON THE SCHEDULE
- **Good Condition** Treat with fungicide and consolidate soft wood.

SURFACE REPAIRS. CONFIRM ALL TRIM IS PLUMB WITH WALL SURFACES.

- Fair Condition Treat with fungicide. Consolidate soft wood. Epoxy patch deteriorated wood (opaque finish
- **Poor Condition** Treat with fungicide. Consolidate soft wood. Epoxy patch moderately deteriorated wood (opaque finish conditions only). Replace severely deteriorated wood and missing wood elements with matching
- **Bad Condition** Provide new wood component to match existing, including adjacent components, frame components, and trim.
- 9. PRIME: AT THE CONCLUSION OF THE RESTORATION WORK FOR THE WOOD MEMBERS, PRIME PAINT THE EXTERIOR FACING COMPONENTS INCLUDING GLAZING RECESSES FOR FINAL PAINTED FINISH BEFORE ATTACHING WEATHER-STRIPPING, HARDWARE, OR INSERTING THE SASH MEMBERS INTO THE FRAME. ONLY PRIME INTERIOR FACING COMPONENTS IF WINDOW IS TO RECEIVE PAINT.
- 10. WEATHERSTRIPPING: INSTALL BRONZE, WEATHER-STRIPPING AT MEETING RAIL AND ALONG THE FULL WINDOW PERIMETER. REPLACE ALL EXISTING PERIMETER WEATHER-STRIPPING. REFERENCE DETAILS FOR VARIOUS
- WEATHERSTRIPPING TYPES. ENSURE WEATHER TIGHTNESS AT ALL WINDOWS. 11. GLAZING: REUSE EXISTING GLASS WHERE POSSIBLE. IF REPLACEMENT IS NECESSARY, MATCH EXISTING. REPLACE GLAZING
- COMPOUND AND POINTS AT ALL WINDOWS. PRIME GLAZING RABBIT AND BED JOINT WITH GLAZING COMPOUND. 12. PAINT / STAIN: REFERENCE SCHEDULE FOR FINISHES AND CONDITIONS. ALL PAINT COLORS TO MATCH EXISTING.
- 13. WEIGHTS: CLEAN AND REPAIR EXTANT CHAINS/ROPES AND WEIGHTS. DO NOT REPLACE WORKING CHAINS/ROPES AND WEIGHTS WITH BALANCE TAPE. FOR BROKEN OR MISSING PULLEYS, ROPES, OR WEIGHTS, REPLACE WITH COMPONENTS THAT MATCH EXISTING.
- 14. HARDWARE: REMOVE AND TAG EACH HARDWARE ITEM AT THE WINDOW, SALVAGE, CLEAN, OIL WHERE NEEDED, AND RE-INSTALL. REMOVE PAINT FROM ALL METAL SURFACES. WHERE ROPES HAVE BEEN PAINTED, REPLACE. MISSING COMPONENTS OF LATCHES, OR PULLS, SHALL BE REPLACED WITH NEW TO MATCH EXISTING IN MATERIAL, OVERALL DESIGN AND APPEARANCE. CLEAN AND POLISH HARDWARE BEFORE RE-INSTALLATION.
- 15. SUBSILL: CLEAN AND REPAIR EXISTING SUBSILL WHERE NECESSARY. PROTECT ALL SILLS DURING REINSTALLATION OF 16. TRIM: REPAIR AND REFINISH EXISTING INTERIOR TRIM AS NEEDED, COORDINATE REPAIRS WITH EXISTING ADJACENT

S - SHEPPARD I

eet 54

0

HOUSEUM L MUSEUM

**REMARKS** BY NUMBER

1, 2

1. 4

1. 4

1. 4

S<sup>→</sup>

0

IS ON FILE AT THE OFFICES OF

KOMATSU ARCHITECTURE, INC 3880 HULEN DRIVE SUITE 300,

RELEASED FOR THE PURPOSES O EFERENCE, COORDINATION, AN

JTHORITY OF KARL KOMATSU, RE

AWING SHALL BE IN COMPLIAN

WITH THE TEXAS BOARD OF

#6843 ON ELEC-DATE

**STORM** 

NO

SILL

2/A6.01

SHEET SIZE SCALE: AS NOTED KAI JOB NUMBER: 2016.116A SPECIFICATIONS NO.: DATE: 28 JUNE 2024 SHEET 1 SEQ #

A6.02